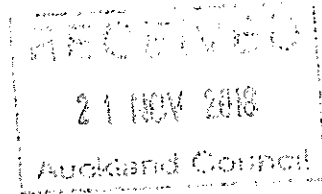


26 November 2013

Ms P Collins  
184 Atkinson Road  
Titirangi  
AUCKLAND 0604



Dear Ms Collins

**PROPERTY ADDRESS: 184 ATKINSON ROAD, TITIRANGI**

Further to our recent correspondence concerning building and drainage work carried out within the basement space our inspection this morning confirmed that it is used only as a studio.

We thank you for the opportunity to inspect the interior space.

✖ Importantly too the initial conversion appears to have been undertaken many years ago, possibly more than 30. Problems with dampness are an obvious and on-going issue and it is for these reasons the present building code establishes high standards that must be achieved if vulnerable parts of a building are intended for human habitation.

Were you intending to develop the basement, or a section of the basement as a bedroom, particularly if in anticipation of a sale or occupation under rental agreement, you would require a building consent.

Council would regard the basement's present function as entirely legitimate for two reasons:

- it is a studio or utility area which is deemed a non-habitable use
- there are no obvious or significant changes to the foundation structure with potential to compromise stability
- ✖ • the work which includes internal plumbing and drainage was carried out many years ago and appears to pre-date the advent of national building legislation

✖ Accordingly, Council will agree on the basis of these findings to permit the works to remain in their present function, position and state, but shall be absolved of all liability arising as a consequence of their deterioration or failure in whole or in part. No further action by Council is contemplated unless in the event of the building being employed for uses contrary to Council's terms of acceptance or in the event of the building becoming dangerous, insanitary or earthquake prone as per sections 121, 122, and 123 of the Building Act 2004.

Council will now regard the matter closed.

Yours sincerely

**Andrew Holmes**  
**COMPLIANCE INSPECTOR**

**WESTERN BUILDING CONTROL**

Tel 301 0101 ext 8677



Bronwyn Scott-Woods <bronwyn.scott-woods@raywhite.com>

Fwd: PFP for 184 Atkinson Road

3 messages

Sarah Smith <sarah.smith@raywhite.com>  
To: Bronwyn Scott-Woods <bronwyn.scott-woods@raywhite.com>

13 November 2018 at 08:36

Do you want to proceed?

----- Forwarded message -----

From: Claire Ramsey-Turner <Claire.Ramsey-Turner@aucklandcouncil.govt.nz>  
Date: Tue, 13 Nov 2018, 08:29  
Subject: PFP for 184 Atkinson Road  
To: sarah.smith@raywhite.com <sarah.smith@raywhite.com>

Good morning

We have received your request for 184 Atkinson Road however we do not hold much information for the property. We have a 1959 permit for a deck and Requisition from 2013 for a basement development.

*Remove letter for council to validate no work done* *not true.*

Do you wish to proceed with this request?

To enable the refund can we please have the details of your bank account. However, please note that we need printed proof, such as online screen shot, bank slip or photograph of your details (obviously not the balances). I also need to know which bank you use. We are unable to refund to a credit card.

I look forward to hearing from you.

Thanks



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