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Sarah Smith  
10 Hepper Street  
New Lynn  
AUCKLAND 0600



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<b>Applicant</b>	Sarah Smith
<b>LIM address</b>	10 Hepper Street New Lynn
<b>Application number</b>	8270119475
<b>Customer Reference</b>	
<b>Date issued</b>	25-Oct-2018
<b>Legal Description</b>	1/2 SH LOT 37 DP 46801, FLAT 1 DP 134887
<b>Certificates of title</b>	NA79C/552

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### Disclaimer

This Land Information Memorandum (LIM) has been prepared for the applicant for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987.

The LIM includes information which:

- Must be included pursuant to section 44A of the Local Government Official Information and Meetings Act 1987
- Council at its discretion considers should be included because it relates to land
- Is considered to be relevant and reliable

This LIM does not include other information:

- Held by council that is not required to be included
- Relating to the land which is unknown to the council
- Held by other organisations which also hold land information

Council has not carried out an inspection of the land and/or buildings for the purpose of preparing this LIM. Council records may not show illegal or unauthorised building or works on the land.

The applicant is solely responsible for ensuring that the land or any building on the land is suitable for a particular purpose and for sourcing other information held by the council or other bodies. In addition, the applicant should check the Certificate of Title as it might also contain obligations relating to the land.

The text and attachments of this document should be considered together.

This Land Information Memorandum is valid as at the date of issue only.

## s44A(2)(a) Information identifying any special feature or characteristics of the land

This information should not be regarded as a full analysis of the site features of this land, as there may be features that the Council is unaware of. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose including development.

### Site Contamination

No land contamination data are available in Council's regulatory records.

### Wind Zones

Wind Zone(s) for this property: Low wind speed of 32 m/s

The wind zones are based on wind speed data specific to all building sites as outlined in NZS 3604:2011. Other factors such as topographic classes, site exposure and ground roughness determine the actual wind bracing demands and bracing elements required for the building.

For further information refer to NZS 3604:2011 Section 5 — Bracing Design

### Soil Issues

The Auckland Council is not aware of any soil issues in relation to this land. If any soil information/reports have been prepared in relation to this property, they will be available for viewing at an Auckland Council Service Centre or via the property file product services.

### Flooding

This statement entitled "Flooding" appears on all LIMs.

Known flooding information is displayed on the map attached to this LIM entitled "Special Land Features – Natural Hazards - Flooding".

The information shown in the "Special Land Features - Natural Hazards - Flooding" map is also shown on the Auckland Council online map viewer (Geomaps), at [www.aucklandcouncil.govt.nz](http://www.aucklandcouncil.govt.nz), which is updated from time to time.

Any proposed development may require a flooding assessment to be provided by the applicant.

The absence of flooding on the "Special Land Features - Natural Hazards - Flooding" map does not exclude the possibility of the site flooding, particularly from Overland Flow Paths which may be on other properties.

### Exposure Zones

New Zealand Standard 3604:2011E classifies all properties in New Zealand into zones based on environmental features including wind, earthquake, snow load and exposure. These zones are relevant to building requirements, such as strength of buildings, materials that should be used and maintenance. All building sites are classified as being in Exposure Zones Extreme Sea Spray, B, C, or D, depending on the severity of exposure to wind driven salt.

This property is classified as: Unknown or Unassessed Corrosion Zone

Unknown or unassessed - No known information is available relating to these sites. Recommended that specific sites and/or product designed and to consult suppliers information for specific durability requirements.

#### s44A(2)(b) Information on private and public stormwater and sewerage drains

Information on private and public stormwater and sewerage drains is shown on the **underground services map** attached.

Note: Private drainage is the responsibility of the land owner up to and including the point of connection to the public sewer or drain.

Effective Date	Description	Details
07/04/2009	Manhole on site	Council's as-built records indicate there is a manhole(s), for wastewater or stormwater services, located on your property. It is the property owners' responsibility to ensure that these manholes are accessible by maintenance staff at all times, and that each manhole lid is level with the adjacent ground. If you are unable to locate the manhole(s) or a lid level needs raising or lowering, please contact EcoWater - Council's Drainage Department who can arrange for the necessary work to be carried out. The property owner may be liable for the cost of this work.

#### s44(2)(ba) Information notified to Council by a drinking water supplier under Section 69ZH of the Health Act 1956

Prospective purchasers should be aware of other drinking water systems connected to this property. There may also be private drinking water supply systems such as rainwater tanks or private water bores. You are advised to clarify the drinking water supply with the current landowner.

No Information has been notified to Council.

#### s44A(2)(bb) Information Council holds regarding drinking water supply to the land

For metered water information, please contact **Watercare (09) 422 2222** for services provided to this property.

#### s44A(2)(c) Information relating to any rates owing in relation to the land

<b>Billing Number/ Rate Account:</b>	12342009895
<b>Rates levied for the Year 2018/2019 :</b>	\$2,141.62
<b>Total rates to clear for the current year (including any arrears):</b>	\$1,491.09


The rates figures are provided as at 8 a.m. 25/10/2018. It is strongly advised these are not used for settlement purposes.

## Retrofit Your Home Programme

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The Retrofit Your Home programme provides financial assistance, advice and information to householders wanting to create an improved home environment.

The scheme contributes to the achievement of the Air Quality National Environmental Standards encouraging the installation of clean heat and insulation in homes as well as supporting access to central government grants and subsidies. The programme offers homeowners a retrofit plan for their homes and financial assistance up to \$5000 repaid through a targeted rate.

 Auckland Council (09) 890 7898 if you require further information

 [retrofit@aucklandcouncil.govt.nz](mailto:retrofit@aucklandcouncil.govt.nz)

**s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and (2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004**

Note: if the land is part of a cross lease title or unit title, consents and permits for the other flats or units may be included in this LIM. If the land has been subdivided there may be consents and permits included that relate to the original property.

It is recommended that the full property file is viewed and compared with the actual building and activities on the land to identify any illegal or unauthorised building works or activities.

### Financial / development contributions

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Financial and development contributions are relevant for recently subdivided land, vacant lots, new residential unit(s) or where there is further development of a site. If any financial or development contribution has not been paid, Council can recover outstanding amount(s) from a subsequent owner of the land.

Please note that financial contributions and development contributions may be paid in land, cash or a combination of these. The form of payment of contributions may be subject to negotiation but final discretion remains with the Council.

### Resource Management

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#### Planning

10 Hepper Street New Lynn

Application No.	Description	Decision	Decision Date
LUC-1991-2802	Land Use Consent Erect a second household unit	Granted	18/03/1991

1/10 Hepper Street New Lynn

Application No.	Description	Decision	Decision Date
LUC-1991-2802	Land Use Consent Erect a second household unit	Granted	18/03/1991

## Subdivisions

There are **NO** Subdivision resource consents recorded.

## Engineering Approvals

There are **NO** Engineering approvals recorded.

If there are any conditions, then only that portion of the consent will be included in the attachments section. The applicant should satisfy themselves as to whether all conditions of resource consents for this property have been met.

## Further Information

The Council may hold additional information for this property, for example concerning resource consents for discharges to air, land or water issued by the former Auckland Regional Council prior to 1 November 2010. If you would like Auckland Council to search for this type of information, please contact us.

## Building

10 Hepper Street New Lynn

Application No.	Description	Issue Date	Status
BPM-1959-1642	Dwelling	30/09/1959	Issued (See Note 1)
BPM-1984-67656	Addition lounge	03/02/1984	Issued (See Note 1)
BPM-1986-36529	Fireplace	26/06/1986	Issued (See Note 1)
COM-2007-2574	Remove kitchen/lounge wall, add beam and bracing panel, new kitchen to existing waste pipe, replace current kitchen window, alter position of hall cupboard.	05/02/2008	CCC Issued 19/12/2008 (See Note 2)

1/10 Hepper Street New Lynn

Application No.	Description	Issue Date	Status
BPM-1991-9830	Flat (unit 2)	31/12/1991	Issued (See Note 1)
ABA-1995-6922	Heater installation	04/05/1995	CCC Issued 10/05/1995 (See Note 2)

Note	Description
1	Permit issued prior to the Building Act 1991 taking effect. Code Compliance Certificates (CCC) were not required.

Note	Description
2	Code Compliance Certificate (CCC) for this consent was issued.

Please note that prior to the Building Act 1991; Councils were not required to maintain full records of building consents [etc] issued under the Building Act. While Auckland Council has always endeavoured to maintain full records of pre-Building Act 1991 matters, not all records for this period have survived and in other cases where building work is documented, information may be incomplete. Council does not accept responsibility for any omission.

It is recommended that the Council property file is viewed and compared with the actual building and activities on site to identify any illegal or unauthorised building works or activities.

### Compliance Schedules (Building Warrant of Fitness)

The Council has no record of a Compliance Schedule for this property/building.

If it is evident that any specified systems such as lifts or commercial fire alarms are present in the building, the owner must ensure there is a current compliance schedule or building warrant of fitness.

### Vehicle Crossings - Other Issues

Effective Date	Description	Details
06/03/2009	Vehicle crossing notification	Vehicle Crossing Notification The Council has found the following items are not compliant with Legacy Waitakere City Council's Code of Practice for City Infrastructure and Land Development and therefore substandard: -,Multiple existing cracks in multiple locations as per Preliminary Inspection, photo's taken. -,Unable to determine adequate concrete thickness due to underspill at 75mm. The Council is requesting that you upgrade your Vehicle Crossing to the above mentioned standard. Until such time the Vehicle Crossing is upgraded, the substandard Vehicle Crossing will be noted against the Council file on your property.

### Swimming/Spa Pool Barriers

The Council has no record of a swimming pool or spa pool being registered on this property. Swimming pools and spa pools must have a barrier that complies with the Building Act 2004.

Pool barrier information is available for viewing at <http://www.aucklandcouncil.govt.nz>

### Licences

There are NO current licences recorded

**s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006**

The Council has not been notified of any information under Section 124 of the Weathertight Homes Resolution Services Act 2006 relating to this property.

**s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use**

Purchasers or those intending to develop the land should satisfy themselves that the land is suitable for any intended use or future development proposal. In addition to any site specific limitations recorded below, general restrictions that apply across the region may be relevant to any development proposals on this property.

**Auckland Unitary Plan - Operative in Part (AUP:OP)**

The **Auckland Unitary Plan - Operative in part(AUP:OP)** applies to this property and should be carefully reviewed and considered, as it may have implications for how this property can be developed and/or used. Those parts of the Auckland Unitary Plan that are operative replace the corresponding parts of legacy regional and district plans. However, certain parts of the AUP:OP are the subject of appeals and have not become operative. If a property is subject to an appeal this will be identified on the attached Unitary Plan Property Summary Report. Where this is the case, both the Auckland Unitary Plan Decisions version and the legacy regional and district plans will need to be considered.

The AUP:OP zones, controls, overlays, precincts, and designations that apply to this property are set out in the Property Summary Report, which is attached to this memorandum.

The AUP:OP can be viewed here:

<https://www.aucklandcouncil.govt.nz/unitaryplan>

The legacy regional and district plans can be viewed here:

<https://www.aucklandcouncil.govt.nz/districtplans>

<https://www.aucklandcouncil.govt.nz/regionalplans>

The appeals to the AUP:OP can be viewed here:

<https://www.aucklandcouncil.govt.nz/unitaryplanappeals>

**Auckland Council District Plan - Hauraki Gulf Islands Section (Operative 2013) (DP:HGI)**

While the regional provisions in the AUP:OP apply to the Hauraki Gulf Islands, and are set out in the Property Summary Report attached to this memorandum, the AUP:OP does not contain any district provisions for the Hauraki Gulf Islands. If the Property Summary Report attached to this memorandum lists its zone as "Hauraki Gulf Islands", the district provisions that apply are in the Auckland Council District Plan Hauraki Gulf Islands Section (Operative 2013) (**DP:HGI**).

The relevant maps of the DP:HGI are attached to this memorandum, if applicable. The text of the DP:HGI can be found here:

<https://www.aucklandcouncil.govt.nz/haurakigulfislands>

**Plan Changes and Notices of Requirement**

Changes to the AUP:OP and DP:HGI may be proposed from time to time. These proposed plan changes may relate to either the maps or the text of those plans. Any proposed changes to the AUP:OP relevant to this property will be listed as a modification in the Property Summary Report attached to this memorandum.

However, proposed changes to the DP:HGI will not appear on the Property Summary report. That information can be found on the Auckland Council website.

Please refer to the AUP:OP for information on any proposed Plan Changes or see the Auckland Council modifications website at:

<https://www.aucklandcouncil.govt.nz/unitaryplanmodifications>

Information relating to any proposed Plan Changes to DP:HGI can be found here:

<https://www.aucklandcouncil.govt.nz/haurakigulfislands>

From time to time a requiring authority, such as a Ministry of the Crown or a council controlled organisation, may notify Auckland Council that they require certain land to be designated for a certain purpose. If this property is the subject of such a notice of requirement, that notice may have implications for how this property can be developed or used from the date it is received by Council.

If this property is not on the Hauraki Gulf Islands, any notices of requirement applicable will be listed as a modification in the Property Summary Report attached to this memorandum.

If this property is on the Hauraki Gulf Islands, any notice of requirement will be available on the Auckland Council Website.

Information on all current notices of requirement can be found on the modifications page here:

<https://www.aucklandcouncil.govt.nz/unitaryplanmodifications>

Copies of the appeals to the Auckland Unitary Plan can be viewed online at:

<https://www.aucklandcouncil.govt.nz/unitaryplanappeals>

### **Information concerning Caveat, Bond, Encumbrance, Consent Notice and Covenant**

For any information concerning Caveats, Bonds, Encumbrances, Consent Notices or Covenants, please refer to the Certificate of Title for this property.

#### **s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation**

No information has been notified to Council.

#### **s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004**

Underground Services and District Plan maps are attached.

Please note: Height restrictions apply where overhead power lines cross the site. Works near water services utilities may require approval. Works near high-pressure Gas, Oil or LPG pipelines create risk of damage and must first be approved. Please contact the relevant Utility provider in your area for further information.

Any escape of gas or liquid from the pipelines is potentially dangerous and requires immediate action as soon as discovered (Dial 111 and ask for the Fire Service).

## Attachments

As the placement of the building/s on the attached maps is based on aerial photography we cannot guarantee the accuracy. A formal survey will indicate the exact location of the boundaries.

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- Auckland Unitary Plan Property Summary Report
- Auckland Unitary Plan - Operative in part Maps and Map Legend
- Auckland Council District Plan - Hauraki Gulf Islands Section (if applicable)
- Underground Services & Utilities Map and Map Legend
- Special Land Features Map and Map Legend

Please note Map Legends have been created for use across the region and may contain features which were not captured by the previous legacy Councils; therefore the information may not be available for these maps. Please contact the Resource Management Planning Team in your area for further information on any features which may or may not appear on your map.

- As Built Drainage Plan : BPM-1959-1642
- Consent Conditions : LUC-1991-2802

## Auckland Unitary Plan Operative in part (15th November 2016) Property Summary Report

### Address

10 Hepper Street New Lynn

### Legal Description

LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887

### Appeals

### Modifications

Notice of Requirements - NoR 7: Proposed Northern Runway - Airspace Restriction Designations - [View PDF](#) - Notified - 15/02/2018

### Zones

Residential - Mixed Housing Urban Zone

### Precinct

### Controls

Controls: Macroinvertebrate Community Index - Urban

Controls: Stormwater Management Area Control - WHAU 2 - Flow 2

### Overlays

### Designations

**DISCLAIMER:**

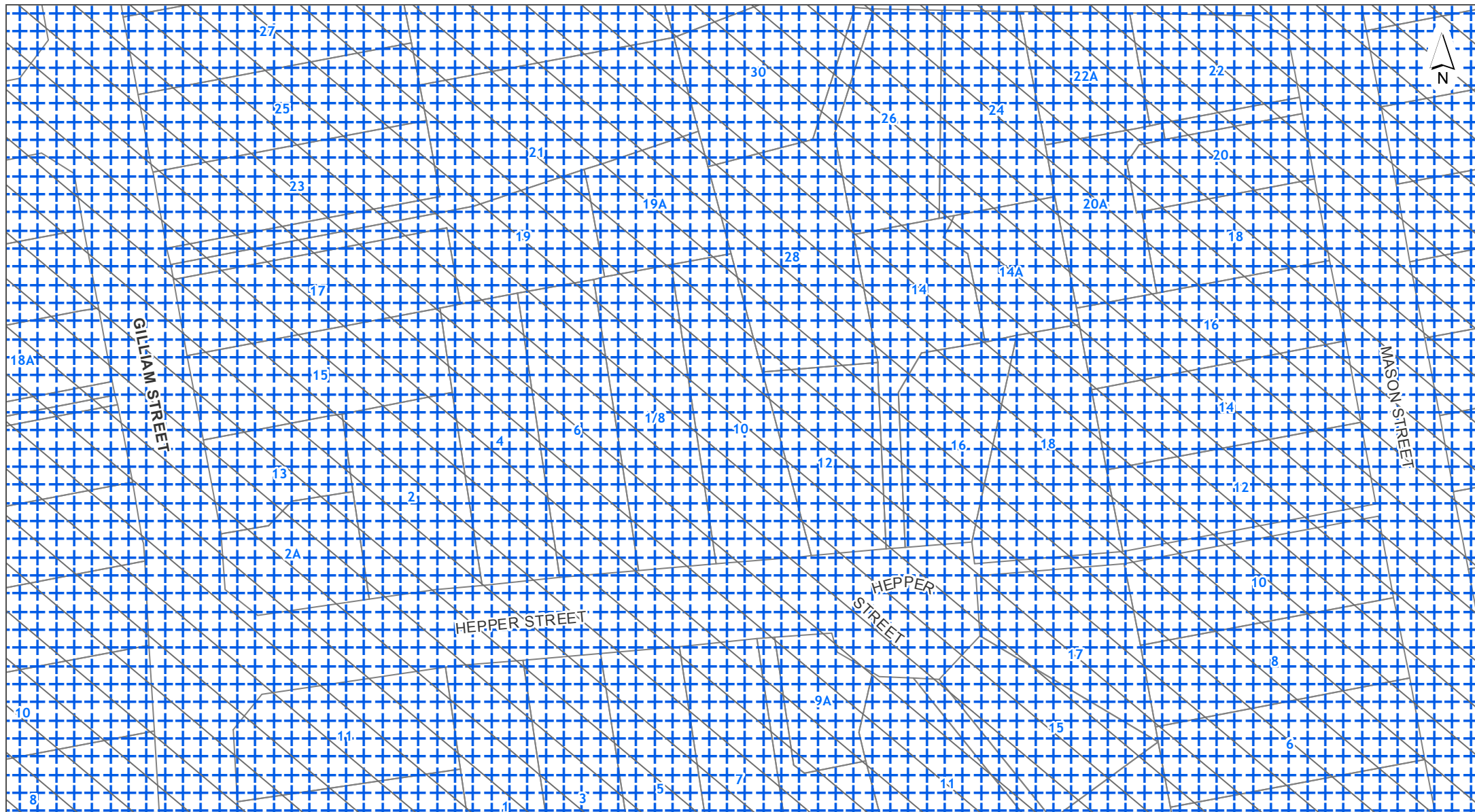
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**Built Environment****10 Hepper Street New Lynn****LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**

0 7 14 21  
Meters

Scale @ A4  
= 1:1,000

Date Printed:  
25/10/2018

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**Controls**

**10 Hepper Street New Lynn**

**LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**



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#### Designations

10 Hepper Street New Lynn

LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887



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**Historic Heritage and Special Character****10 Hepper Street New Lynn****LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**

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Meters

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**Infrastructure**

**10 Hepper Street New Lynn**

**LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**

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Mana Whenua

10 Hepper Street New Lynn

LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887

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#### Natural Heritage

10 Hepper Street New Lynn

LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887

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**Natural Resources**

**10 Hepper Street New Lynn**

**LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**



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**Precincts**

**10 Hepper Street New Lynn**

**LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**

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**Zones and Rural Urban Boundary**

**10 Hepper Street New Lynn**

**LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**





Scale @ A4  
= 1:1,000



Date Printed:  
25/10/2018

# Auckland Unitary Plan Operative in part 15th November 2016 - LEGEND

## Appeals

-  Properties affected by Appeals seeking change to zones or management layers
-  Properties affected by Appeals seeking reinstatement of management layers

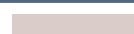















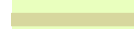


## Plan Modifications

-  Notice of Requirements
-  Plan Changes

## ZONES

-  Residential - Large Lot Zone
-  Residential - Rural and Coastal Settlement Zone
-  Residential - Single House Zone
-  Residential - Mixed Housing Suburban Zone
-  Residential - Mixed Housing Urban Zone
-  Residential - Terrace Housing and Apartment Buildings Zone
-  Business - City Centre Zone
-  Business - Metropolitan Centre Zone
-  Business - Town Centre Zone
-  Business - Local Centre Zone
-  Business - Neighbourhood Centre Zone
-  Business - Mixed Use Zone
-  Business - General Business Zone
-  Business - Business Park Zone
-  Business - Heavy Industry Zone
-  Business - Light Industry Zone
-  Open Space - Conservation Zone
-  Open Space - Informal Recreation Zone
-  Open Space - Sport and Active Recreation Zone
-  Open Space - Civic Spaces Zone
-  Open Space - Community Zone


## ZONES

-  Rural - Rural Production Zone
-  Rural - Mixed Rural Zone
-  Rural - Rural Coastal Zone
-  Rural - Rural Conservation Zone
-  Rural - Countryside Living Zone
-  Rural - Waitakere Foothills Zone
-  Rural - Waitakere Ranges Zone
-  Future Urban Zone
-  Green Infrastructure Corridor (Operative in some Special Housing Areas)
-  Coastal - General Coastal Marine Zone [rcp]
-  Coastal - Marina Zone [rcp/dp]
-  Coastal - Mooring Zone [rcp]
-  Coastal - Minor Port Zone [rcp/dp]
-  Coastal - Ferry Terminal Zone [rcp/dp]
-  Coastal - Defence Zone [rcp]
-  Coastal - Coastal Transition Zone
-  Special Purpose Zone- Airports & Airfields, Cemetery, Quarry, Healthcare Facility & Hospital, Tertiary Education, Maori Purpose, Major Recreation Facility, School
-  Strategic Transport Corridor Zone
-  Water [i]

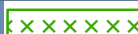




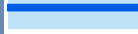





## Tagging of Provisions:

- [i] = Information only
- [rp] = Regional Plan
- [rcp] = Regional Coastal Plan
- [rps] = Regional Policy Statement
- [dp] = District Plan (only noted when dual provisions apply)

## DESIGNATIONS







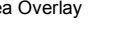


-  Designations
-  Airspace Restriction Designations

## Natural Resources

-  Terrestrial [rp/dp]
-  Marine 1 [rcp]
-  Marine 2 [rcp]
-  Natural
-  Urban
-  Water Supply Management Areas Overlay [rp]
-  Natural Stream Management Areas Overlay [rp]
-  High-Use Stream Management Areas Overlay [rp]
-  High-Use Aquifer Management Areas Overlay [rp]
-  Quality-Sensitive Aquifer Management Areas Overlay [rp]
-  Wetland Management Areas Overlay [rp]

- Significant Ecological Areas Overlay
- Lake Management Areas Overlay (Natural Lake and Urban Lake)












## Infrastructure

-  Airport Approach Surface Overlay
-  Aircraft Noise Overlay
-  City Centre Port Noise Overlay [rcp / dp]
-  Quarry Buffer Area Overlay
-  National Grid Subdivision Corridor
-  National Grid Substation Corridor
-  National Grid Yard Compromised
-  National Grid Yard Uncompromised
-  National Grid Corridor Overlay

## Mana Whenua

-  Sites & Places of Significance to Mana Whenua Overlay [rcp/dp]

## CONTROLS

-  Key Retail Frontage
-  General Commercial Frontage
-  Adjacent to Level Crossings
-  General
-  Motorway Interchange Control
-  Coastal Inundation 1 per cent AEP Plus 1m Control
-  Business Park Zone Office Control
-  Cable Protection Areas Control [rcp]
-  Centre Fringe Office Control
-  Height Variation Control
-  Arterial Roads


















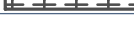
## Building Frontage Control

## Vehicle Access Restriction Control






## CONTROLS

-  Precincts
-  Indicative Coastline [i]
-  Rural Urban Boundary












## Natural Heritage

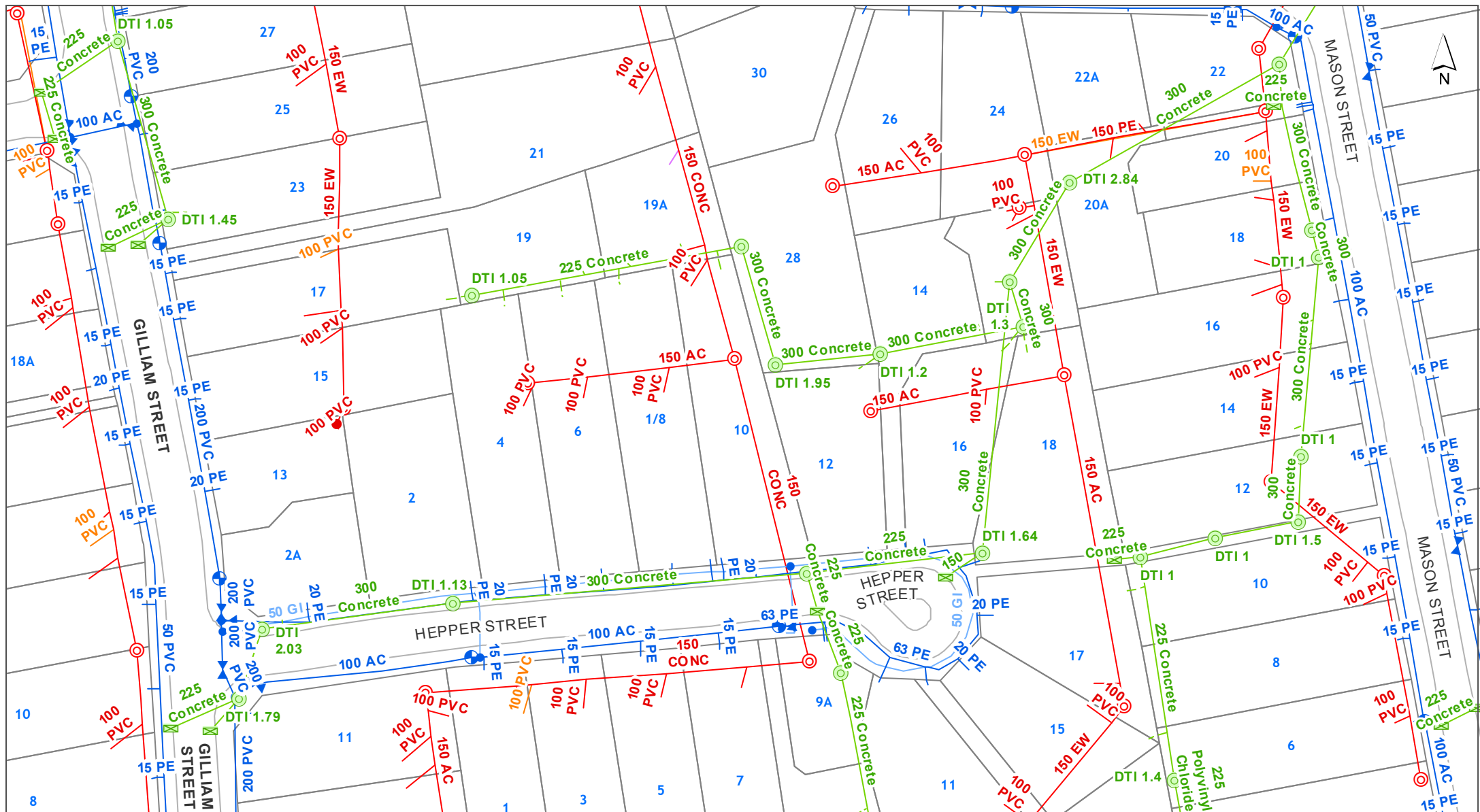
-  Notable Trees Overlay
-  Outstanding Natural Features Overlay [rcp/dp]
-  Outstanding Natural Landscapes Overlay [rcp/dp]
-  Outstanding Natural Character Overlay [rcp/dp]
-  High Natural Character Overlay [rcp/dp]
-  Local Public Views Overlay [rcp/dp]
-  Viewshafts
-  Height Sensitive Areas
-  Regionally Significant Volcanic Viewshafts & Height Sensitive Areas Overlay [rcp/dp]
-  Regionally Significant Volcanic Viewshafts Overlay Contours [i]
-  Locally Significant Volcanic Viewshafts Overlay [rcp/dp]
-  Locally Significant Volcanic Viewshafts Overlay Contours [i]
-  Extent of Overlay
-  Subdivision Schedule
-  Modified
-  Natural
-  Waitakere Ranges Heritage Area Overlay
-  Ridgeline Protection Overlay

## Historic Heritage & Special Character

-  Historic Heritage Overlay Place [rcp/dp]
-  Historic Heritage Overlay Extent of Place [rcp/dp]
-  Special Character Areas Overlay Residential and Business
-  Auckland War Memorial Museum Viewshaft Overlay [rcp/dp]
-  Auckland War Memorial Museum Viewshaft Overlay Contours [rcp/dp]

## Built Environment

-  Identified Growth Corridor Overlay
-  Hazardous Facilities
-  Infrastructure
-  Flow 1 [rp]
-  Flow 2 [rp]
-  Stormwater Management Area Control
-  Level Crossings With Sightlines Control
-  Macroinvertebrate Community Index
-  Parking Variation Control
-  Subdivision Variation Control
-  Surf Breaks [rcp]



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## Underground Services

10 Hepper Street New Lynn

LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887














Scale @ A4  
= 1:1,000

Date Printed:  
25/10/2018


















## Stormwater

Note: Unless otherwise specified in the text below, the *colour* of a Stormwater symbol is determined by the ownership or usage status, using the following colour scheme:















**Public**, **Private** or **Abandoned**

	Treatment Device		Overland Flowpath (Public)
	Septic Tank		Overland Flowpath (Private)
	Septic Tank (Hi-Tech)		Forebay (Public)
	Soakage System		Forebay (Private)
	Inspection Chamber		Treatment Facility (Public)
	Manhole (Standard / Custom)		Treatment Facility (Private)
	Inlet & Outlet Structure		Pump Station
	Inlet & Outlet (No Structure)		Planting
	Catchpit		Embankment
	Spillway		Viewing Platform
	Safety Benching		Bridge
	Culvert / Tunnel		Erosion & Flood Control (Other Structure)
	Subsoil Drain		Erosion & Flood Control (Wall Structure)
	Gravity Main		
	Rising Main		
	Connection		
	Fence		
	Lined Channel		
	Watercourse		















## Water

	Valve
	Hydrant
	Fitting
	Other Watercare Point Asset
	Other Watercare Linear Asset
	Local Pipe (Bulk)
	Local Pipe (In Service)
	Local Pipe (Abandoned)
	Transmission Pipe (In Service)
	Transmission Pipe (Out of Service)
	Transmission Pipe (Proposed)
	Pump Station
	Reservoir
	Other Structure (Local)
	Chamber (Transmission)
	Water Source (Transmission)
	Other Watercare Structures and Areas

## Wastewater

	Fitting
	Fitting (Non Watercare)
	Manhole
	Pipe (Non Watercare)
	Local Pipe (Main / Service Line)
	Local Pipe (Abandoned)
	Local Pipe (Future)
	Transmission Pipe (In Service)
	Transmission Pipe (Out Of Service)
	Transmission Pipe (Proposed)
	Chamber
	Structure (Non Watercare)
	Pump Station
	Wastewater Catchment

## Utilities

	Transpower Site
	Pylon (Transpower)
	220kv Line (Transpower)
	110kv Line (Transpower)
	33kv Line (Transpower) & Underground Line (Mercury)
	Transmission Line (Vector)
	Oil Services Pipeline [Wiri]
	Liquid Fuels Pipeline [Wiri to Marsden]
	High-Pressure Gas Pipeline (Vector & Orion)
	Medium-Pressure Gas Pipeline (Vector & Orion)
	Indicative Steel Mill Slurry Pipeline
	Indicative Steel Mill Water Pipeline
	Fibre Optic Cable (ARTA)
	Contour Interval

Legend  
updated:  
9/05/2018



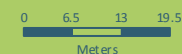
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## Hazards

10 Hepper Street New Lynn

LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887

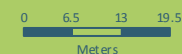


Scale @ A4  
= 1:1,000

Date Printed:  
25/10/2018

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**Natural Hazards - Coastal Inundation****10 Hepper Street New Lynn****LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**

**Scale @ A4**  
**= 1:1,000**

**Date Printed:**  
**25/10/2018**



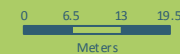
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## Natural Hazards - Flooding

**10 Hepper Street New Lynn**

**LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**



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**Natural Hazards - Sea Spray****10 Hepper Street New Lynn****LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887**

0 6.5 13 19.5  
Meters

Scale @ A4  
= 1:1,000

Date Printed:  
25/10/2018

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**Natural Hazards - Volcanic Cones****10 Hepper Street New Lynn**

LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887

0 6.5 13 19.5  
Meters

Scale @ A4  
= 1:1,000

Date Printed:  
25/10/2018



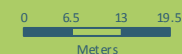
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## Other

10 Hepper Street New Lynn

LOT 37 DP 46801 1/2 SH BG FLAT 1 DP 134887



Scale @ A4  
= 1:1,000

Date Printed:  
25/10/2018
















## Hazards

## Soil Warning Area

-  Fill (Franklin District only)
-  Advisory (Franklin District only)
-  Contamination (Franklin District only)
-  Erosion (Franklin District only)
-  Hazardous Activities & Industries List (HAIL) (Franklin District only)
-  Inundation (Franklin District only)
-  Rainfall Event (Franklin District only)
-  Slippage (Franklin District only)
-  Subsidence (Franklin District only)
-  Slippage / Subsidence / Erosion etc (Auckland City and Papakura District only)
-  Uncertified Fill (Auckland City and Papakura District only)
-  Organic Soil (Auckland City and Papakura District only)
-  Filled / Weak Ground (Auckland City and Papakura District only)
-  Refuse Tips Site / Weak Area (Auckland City and Papakura District only)
-  Unstable / Suspected Ground (Auckland City and Papakura District only)
-  Allochthon Waitemata (Rodney District only)
-  Motatau Complex (Rodney District only)
-  Puriri Mudstone (Rodney District only)
-  Mahurangi Limestone (Rodney District only)
-  Mangakahia Complex (Rodney District only)
-  Hukerenui Mudstone (Rodney District only)
-  Whangai Formation (Rodney District only)
-  Tangihua Complex (Rodney District only)
-  within 150m of Northland Allochthon (Rodney District only)




## Hazards

## Soil Warning Area continued

-  Soil D (Rodney District only)
-  within 150m of Soil D (Rodney District only)
-  Soil C (Rodney District only)
-  within 150m of Soil C (Rodney District only)
-  Soil B (Rodney District only)
-  within 150m of Soil B (Rodney District only)
-  Soil A (Rodney District only)
-  Gas Main Pipeline
-  Petroleum Pipeline
-  Closed Landfill (Auckland Council owned)
-  Closed Landfill (Privately owned)
-  Air Discharge (Franklin District only)
-  No Soakage (Franklin District only)
-  Indicative Steel Mill Slurry Line 20m Buffer (Franklin District only)
-  Indicative Steel Mill Water Line 20m Buffer (Franklin District only)


## Natural Hazards

## Overland Flow Path

-  Catchment area 2000m² to 3999 m²
-  Catchment area 4000 m² to 3 Ha
-  Catchment area 3 Ha and above

 1% AEP Flood Plain




 Flood Prone Areas

 Flood Sensitive Areas

 Sea Spray








 Volcanic Cones

## Coastal Inundation

-  1% AEP
-  1% AEP plus 1m sea level rise
-  1% AEP plus 2m sea level rise

## Other

## Cultural Heritage Index

-  Archaeological Site
-  Hayward and Diamond
-  Historic Botanical Site
-  Historic Structure
-  Maori Heritage Area
-  Maritime Site
-  Reported Historic Site

The information Council holds in relation to Special Land Features differs based on the area a property is located in. Those areas where information is held on a Special Land Feature is denoted in the legend above.

Legend updated: 12/06/2018

Assessment No. 209/580 pr**BOROUGH of NEW LYNN****APPLICATION FOR DRAINAGE PERMIT**Permit No. 1770Receipt No. 12789

TO THE INSPECTOR, NEW LYNN BOROUGH COUNCIL:

I, the undersigned, hereby give notice that I intend to carry out the following work subject to the provisions of the Bylaws of the Borough of New Lynn, the Municipal Corporations Act, 1933, amendments thereof or any other provisions whatsoever applicable thereto, and request that a permit be issued for the execution of same.

Section on which work is to be placed 10 Hepper St.37 DP 46801.Owner Mr. J. V. Mrs. E. Collins Street 1Drainlayer Frank PookClass of work with description Connect house drain to sewer

The Fee payable as per schedule hereunder must accompany this application.

**SCHEDULE OF FEES**

	£	s.	d.
If the value of the proposed work does not exceed £25	—	—	5 0
If the value of the proposed work exceeds £25, but does not exceed £50	—	—	10 0
If the value exceeds £50, but does not exceed £100	—	—	1 0 0
If the value exceeds £100, but does not exceed £150	—	—	1 10 0
If the value exceeds £150	—	—	2 0 0

Estimated Value, £ 50

(The decision of the Inspector shall be final as to this.)

Plans and drawings on back hereof.

Owner or Drainlayer F. PookAddress 46 Trenton Rd. ArdaraDate 16.12.59

(For Office Record Only)

APPLICATION APPROVED

H. C. Dalton

Inspector

15-12-1959

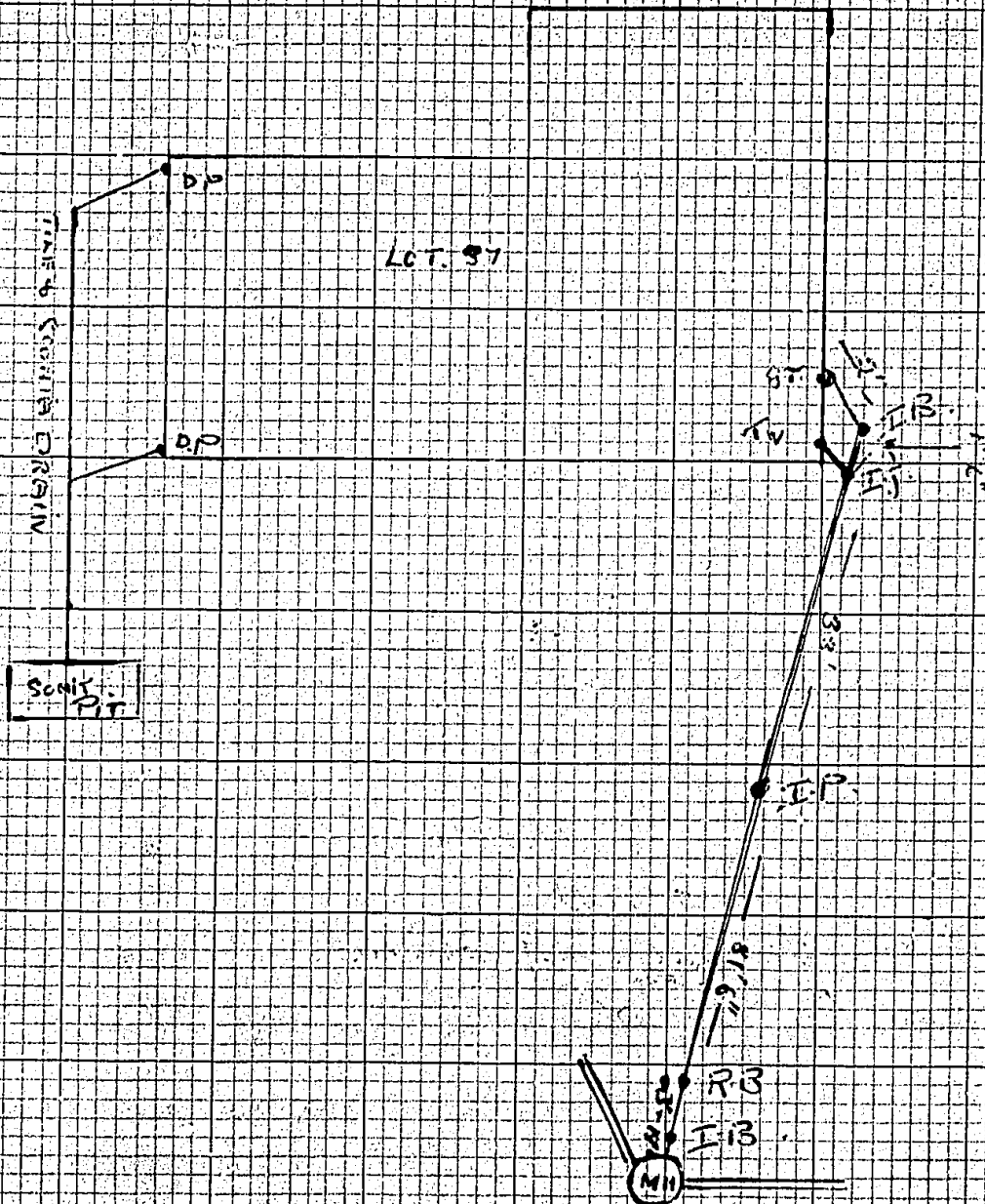
WORK INSPECTED AND PASSED

17-12-59

Inspector

H. C. Dalton19

NOTE.—For drainage work, a scale plan in ink showing street line, section, boundaries, buildings in outline, lines of drains, inspection pipes, etc., MUST be supplied.



Scale: 1/8th inch = 1 foot  
2 feet

similar in terms of the cladding although the weatherboards of the existing house are painted and it is likely those of the proposed house would be stained to blend in with the brick veneer. The two adjoining houses are similar in age and style to the existing house on the subject site. While there would not be complete visual compatibility between the proposed and existing houses because of the different age and style, it is considered that the separation between them would be sufficient to reduce the impact.

#### PARKING AND MANOEUVRING

The parking requirements for the new household unit would be satisfied as would on site manoeuvring. The parking and on site manoeuvring for the existing house would remain the same and would comply with Scheme Change 1.

#### BUILDING LOCATION AND SITE FEATURES

There are no significant topographical features on the site. All vegetation behind the existing house has already been removed except for the macrocarpa trees. As discussed these should be retained but could be removed later if alternative types of trees are desired. The proposed house would be located in the most suitable part of the site particularly with respect to the existing house.

#### RECOMMENDATION

That pursuant to Sections 74A and 75 of the Town & Country Planning Act 1977, and being satisfied that the interests of body or person are prejudiced consent be granted to the application by C.D. & J.D. Leece to construct a second house at 10 Hepper St being Lot 37 DP 46801 for the following reasons:-

1. The tapering shape of the site prevents full compliance with the shape factor but there is sufficient area to accommodate a house which complies with the bulk and location controls.
2. The site is suitable for the proposed development in terms of its size and the location of the existing house and macrocarpa trees.
3. Given that a condition will require fencing or planting on the side and rear boundaries and between the two houses on the site there will be minimal impact on the amenities of the adjoining properties.

the consent is subject to the following conditions:-

1. Fencing, or landscaping capable of attaining a height of 1.5m shall be provided on the western side boundary, the rear boundary and the cross lease boundary. A plan showing the type of fencing (trellises) to be provided, or location and species of trees and shrubs to be planted, shall be submitted to the Planning Administration Manager for approval prior to the building permit being obtained.
2. The service strip alongside the carriageway shall be shown on the site plan.
3. Access 2.5m wide and vehicle turning areas shall be formed and constructed in accordance with Council standards.

4. The macrocarpa trees on the eastern boundary shall be retained until other vegetation is fully established on the site and alternative planting is approved by the Planning Administration Manager.
5. Development shall be otherwise generally in accordance with the plans and information submitted with the application.

APPLICATION GRANTED/~~DECLINED~~



P.D. Reaburn  
PLANNING ADMINISTRATION MANAGER

DATE 18/3/1991